

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

A MASTER DEVELOPMENT PLAN

Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO

PROPERTY ADDRESS

60 BUCK CREEK ROAD
AVON, COLORADO 81620

LEGAL DESCRIPTION

LOT 1B, BUCK CREEK P.U.D., TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO

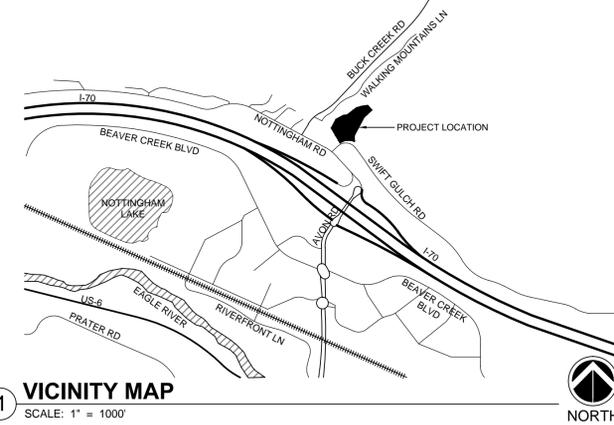
SITE STATISTICS - ZONING

ZONING	PF	LOT 1B
GROSS LAND AREA	92,565.00 SF	2.125 ACRES
PERMITTED USES	Per Section 7.24.040 Table of allowed uses in the PF nonresidential district	Community Services such as Governmental Services, Offices, and Facilities

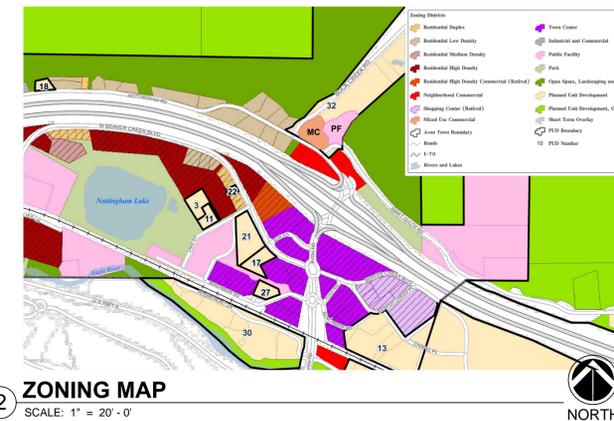
SITE STATISTICS - PROJECT SPECIFIC

	REQUIRED	PROVIDED
LOT SIZE	N/A	2.251 ACRES* 98,061 SF*
LOT FRONTAGE	N/A	175.51 FT - SWIFT GULCH ROAD
SETBACKS	FRONT: 20 FT SIDE: 20 FT REAR: 20 FT	FRONT (Swift Gulch Road): 33.81 FT SIDE (LOT 1A, West Property): 7.5 FT SIDE (east property line): 51.90 FT REAR (north property line): 81.99 FT
MAXIMUM BUILDING HEIGHT	40 FT	57 FT 3 STORIES
NUMBER OF DWELLING UNITS	N/A	N/A
GROSS FLOOR AREA	N/A	26,056 SQ FT
MAXIMUM BUILDING COVERAGE	60%	12.62%* 12,376 SF
MAXIMUM PARKING COVERAGE	N/A	15.06%* 14,788 SF
MINIMUM LANDSCAPED OPEN SPACE	0 SF	57.47%* 56,359 SF
PARKING*	N/A*	ENCLOSED: 0 UNENCLOSED: 48 STANDARD: 46 HANDICAPPED: 2 (INCL. 1 VAN ACCESSIBLE) TOTAL: 48
LAND AREA PER D.U.	N/A	N/A
OPEN SPACE PER D.U.	N/A	N/A
LANDSCAPED OPEN SPACE PER D.U.	N/A	N/A
BICYCLE SPACES (BASED ON 1 SPACE FOR EVERY 10 VEHICLES)	5	6

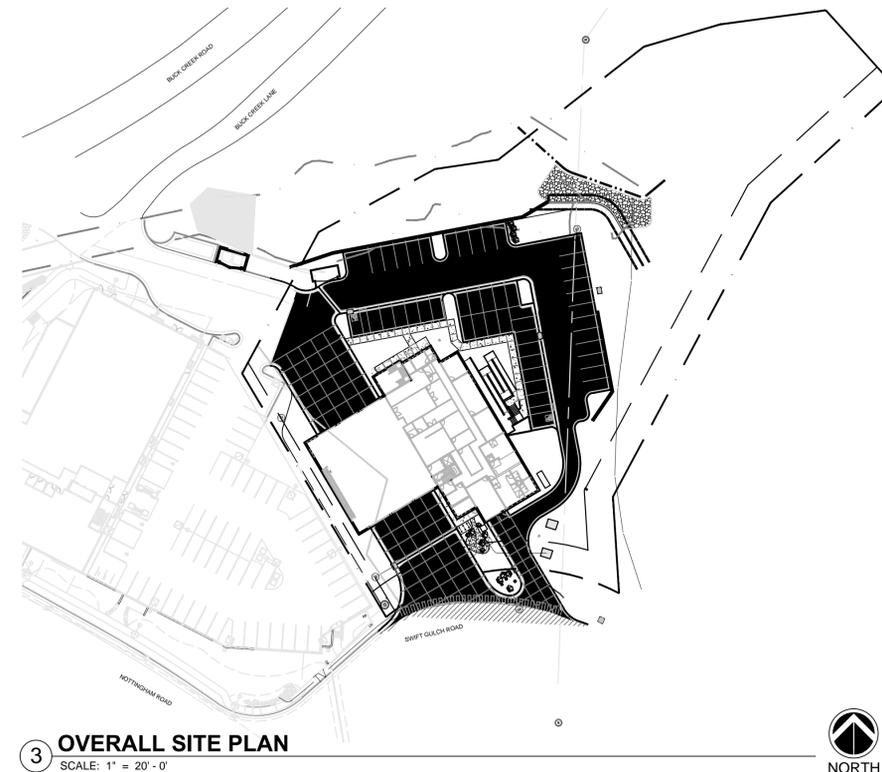
*LOT SIZE
1. Lot size and percentage coverage calculated based on proposed property line adjustment west of the site.
*PARKING
1. Determined by director.



1 VICINITY MAP
SCALE: 1" = 1000'



2 ZONING MAP
SCALE: 1" = 20' - 0"



3 OVERALL SITE PLAN
SCALE: 1" = 20' - 0"

PROJECT TEAM

APPLICANT / OWNER
EAGLE RIVER FIRE PROTECTION DISTRICT
351 BENCHMARK ROAD
AVON, COLORADO 81620
PHONE: 970.748.9665

SURVEYOR
GORE RANGE SURVEYING, LLC
5129 LONGSUN LANE
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PHONE: 970.479.8698

ARCHITECT
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ELECTRICAL ENGINEER
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LANDSCAPE ARCHITECT
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CIVIL ENGINEER
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0101 FAWCETT ROAD, SUITE 260
P.O. BOX 8896
AVON, COLORADO 81620
PHONE: 970.926.6007

SHEET INDEX

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C2	DETAILED GRADING PLAN
C3	DETAILED GRADING PLAN
C4	EROSION AND SEDIMENT CONTROL PLAN
C5	STORMWATER MANAGEMENT PLAN
C6	STEEP SLOPE PLAN
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GENERAL NOTES

- SITE IS ZONED PUBLIC FACILITIES DISTRICT (PF). THE PF DISTRICT IS INTENDED TO PROVIDE SITES FOR PUBLIC USES SUCH AS COMMUNITY CENTERS, POLICE AND FIRE STATIONS AND GOVERNMENTAL FACILITIES.
- FENCES, WALLS, SIGNS AND FUTURE STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT INDICATED OTHERWISE ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE DESCRIBED.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES FOR THE PROVISION OF EMERGENCY SERVICES.
- PRIVATE ROADWAYS AND DRIVES SHALL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE EAGLE RIVER FIRE DEPARTMENT.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE TOWN OF AVON.
- PARKING SPACES FOR PERSONS WITH DISABILITIES SHALL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- THE SITE SHALL BE LANDSCAPED PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY DURING THE GROWING SEASON OF MAY 1ST TO OCTOBER 1ST. AT ALL OTHER TIMES THE SITE SHALL BE LANDSCAPED WITHIN 45 DAYS OF THE START OF THE GROWING SEASON.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR SHUT-OFF INSTALLED.



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PHONE: 303.421.6655

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81620

DRWN: C-H/D (AP/VD)

REMARKS: #181200 SUBMITTAL

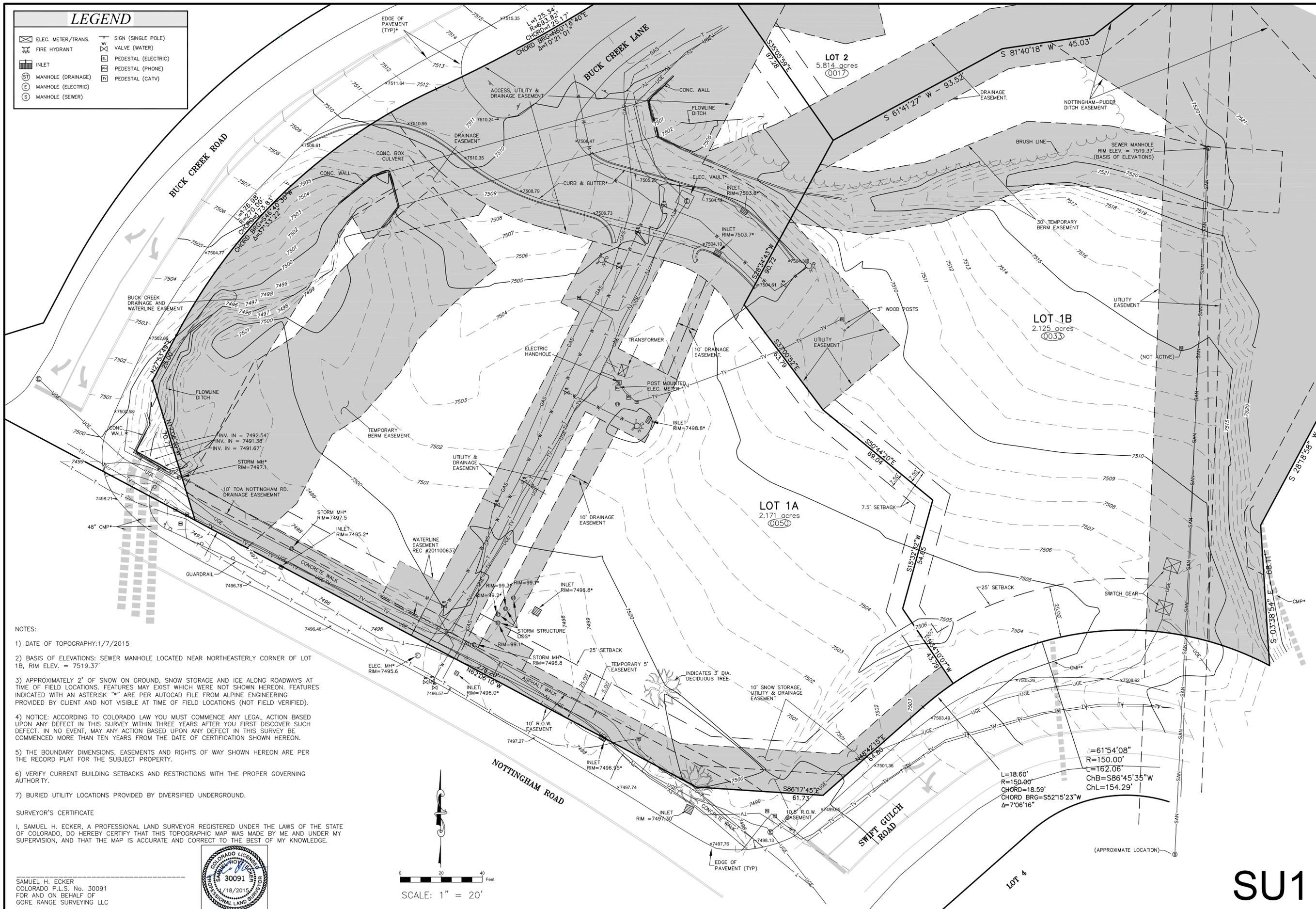
DATE: 03.02.16

PROJECT NO: 15914.00
DATE: 03.02.16
SHEET NUMBER: G1

COVER SHEET

LEGEND

- ELEC. METER/TRANS.
- FIRE HYDRANT
- INLET
- MANHOLE (DRAINAGE)
- MANHOLE (ELECTRIC)
- MANHOLE (SEWER)
- SIGN (SINGLE POLE)
- VALVE (WATER)
- PEDESTAL (ELECTRIC)
- PEDESTAL (PHONE)
- PEDESTAL (CATV)

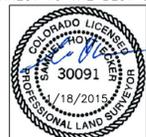


NOTES:

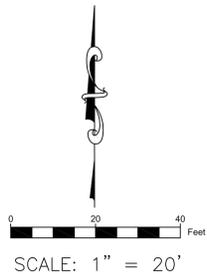
- 1) DATE OF TOPOGRAPHY: 1/7/2015
- 2) BASIS OF ELEVATIONS: SEWER MANHOLE LOCATED NEAR NORTHEASTERLY CORNER OF LOT 1B, RIM ELEV. = 7519.37'
- 3) APPROXIMATELY 2' OF SNOW ON GROUND, SNOW STORAGE AND ICE ALONG ROADWAYS AT TIME OF FIELD LOCATIONS. FEATURES MAY EXIST WHICH WERE NOT SHOWN HEREON. FEATURES INDICATED WITH AN ASTERISK "*" ARE PER AUTOCAD FILE FROM ALPINE ENGINEERING PROVIDED BY CLIENT AND NOT VISIBLE AT TIME OF FIELD LOCATIONS (NOT FIELD VERIFIED).
- 4) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- 5) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE PER THE RECORD PLAT FOR THE SUBJECT PROPERTY.
- 6) VERIFY CURRENT BUILDING SETBACKS AND RESTRICTIONS WITH THE PROPER GOVERNING AUTHORITY.
- 7) BURIED UTILITY LOCATIONS PROVIDED BY DIVERSIFIED UNDERGROUND.

SURVEYOR'S CERTIFICATE

I, SAMUEL H. ECKER, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.



SAMUEL H. ECKER
 COLORADO P.L.S. No. 30091
 FOR AND ON BEHALF OF
 GORE RANGE SURVEYING LLC



TOPOGRAPHIC MAP
LOTS 1A AND 1B, BUCK CREEK P.U.D.
TOWN OF AVON
EAGLE COUNTY, COLORADO

Gore Range
Surveying, LLC

P.O. Box 15
 Avon, CO 81620
 (970) 479-8698 • fax (970) 479-0055

DRAWN BY: SE	DATE: 1/12/2015	DRAWING NO.: 14-786topo	SHEET 1 OF 1
CHECKED BY: SE			
JOB NO.: 14-786			

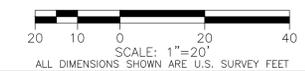
SU1

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

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Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

OVERALL UTILITY PLAN



APPLICANT / OWNER
EAGLE RIVER FIRE PROTECTION DISTRICT
351 BENCHMARK ROAD
AVON, COLORADO 81607
PHONE: 303.748.9655

ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
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DENVER, COLORADO 80202
PHONE: 303.851.8505

LANDSCAPE ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
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DENVER, COLORADO 80202
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14143 DENVER WEST PKWY, SUITE 300
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PHONE: 303.421.6655

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81602

DATE	15914.00
DATE	03.02.16
SHEET NUMBER:	C1

PLOT DATE: Wednesday, March 02, 2016 12:20 PM LAST SAVED BY: RYANU
DRAWING LOCATION: H:\M\15.0787-Avon Public Facility\PLANS\CONSTRUCTION DOCUMENTS\OVERALL UTILITY.dwg

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

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LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO

EROSION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. REFER TO SEDIMENT AND EROSION CONTROL PLANS AND STORM WATER MANAGEMENT PLAN. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
2. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
3. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
4. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. UNLESS SPECIFIED OTHERWISE, TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR INSTALLATION WITHIN THREE MONTHS. TEMPORARY VEGETATION SHALL BE A WOOLY, DROUGHT-TOLERANT, NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION, BUT SEEDED AREAS SHALL BE IRRIGATED, IF CONDITIONS MERIT. REFER TO THE LANDSCAPE PLAN FOR FINAL LANDSCAPING.
6. TEMPORARY FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS OR PROPERTY LINES TO PREVENT GRADING ON PROPERTY NOT OWNED BY THE OWNER/DEVELOPER. IN ADDITION, THE TOWN OF AVON MAY REQUIRE ADDITIONAL TEMPORARY FENCES IF FIELD CONDITIONS WARRANT.
7. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, ROADWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
8. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN INADVERTENTLY DISCHARGED TO, OR ACCUMULATED IN, THE FLOWLINES AND PUBLIC RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT.
9. THE GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC ROADWAYS.
10. APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" (BMP) SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
11. WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555
12. THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED.
13. PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
14. CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS TO MINIMIZE DISTURBANCE TO AREAS IN OR NEAR BUCK CREEK.
15. ADDITIONAL WETLANDS PERMITTING MAY BE REQUIRED
16. CONTRACTOR SHALL LOCATE THE STAGING AND STORAGE AREA ON-SITE
17. SEE SHEET C450-C452 FOR EROSION CONTROL DETAILS

LEGEND

TOTAL DISTURBED AREA= 1.6 ACRES±

	LIMITS OF DISTURBANCE	(LOD)
	VEHICLE TRACKING CONTROL	(VTC)
	EROSION CONTROL BLANKET	(ECB)
	PERMANENT SEEDING	(PS)
	INLET PROTECTION	(IP)
	CONCRETE WASHOUT AREA	(CWA)
	ROCK SOCK	(RS)
	CHECK DAM	(CD)
	SEDIMENT CONTROL LOG	(SCL)
	SILT FENCE	(SF)



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EROSION AND SEDIMENT CONTROL PLAN



APPLICANT / OWNER
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AVON, COLORADO 81607
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PHONE: 303.421.6655

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81602

DATE	15914.00
DATE	03.02.16
SHEET NUMBER	C4

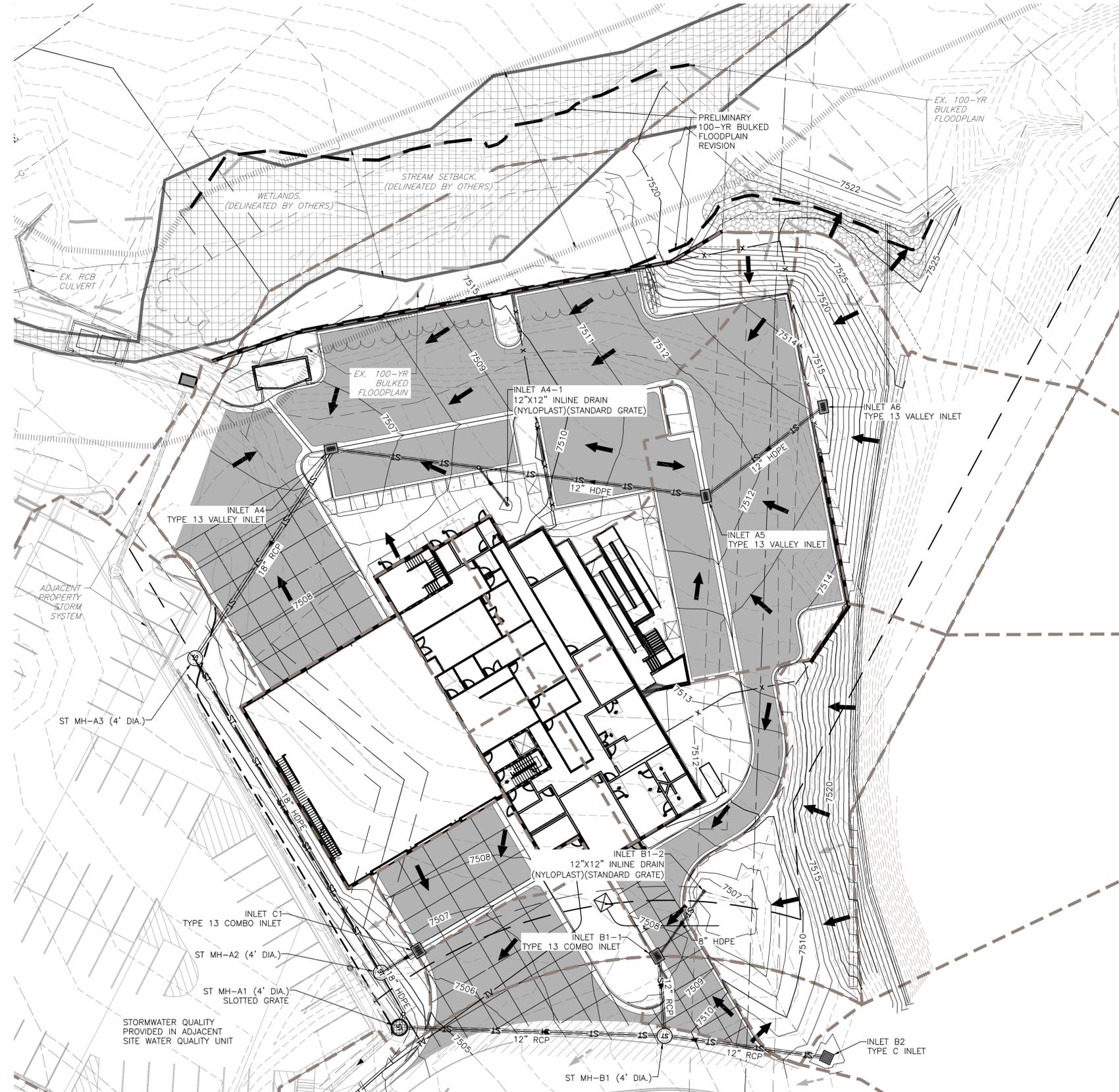
PLOT DATE: Wednesday, March 02, 2016 12:18 PM LAST SAVED BY: RYANU
DRAWING LOCATION: H:\M\15.0787-Avon Public Facility\PLANS\CONSTRUCTION DOCUMENTS\EROSION AND SEDIMENT CONTROL.dwg

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A MASTER DEVELOPMENT PLAN

Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO



LEGEND

- BASIN BOUNDARY
- EXISTING DIRECTION OF FLOW
- PROPOSED DIRECTION OF FLOW



**DAVIS
PARTNERSHIP
ARCHITECTS**

APPLICANT / OWNER
EAGLE RIVER FIRE PROTECTION DISTRICT
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CIVIL ENGINEER
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1010 FAWCETT ROAD, SUITE 280
P.O. BOX 1886
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PHONE: 970.838.8007

SURVEYOR
SOREN RANDE SURVEYING, LLC
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ELECTRICAL ENGINEER
ME ENGINEERS
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PHONE: 303.421.6655

MASTER DEVELOPMENT PLAN

**EAGLE RIVER FIRE /
AVON PUBLIC
SAFETY FACILITY**
60 Buck Creek Road
Avon, CO 81620

DATE	REVISION	REMARKS	DRAWN	CHKD	APPROV
03.02.16					
PROJECT NO. 15914.00					
DATE 03.02.16					
SHEET NUMBER: C5					

STORMWATER MANAGEMENT PLAN

PLOT DATE: Wednesday, March 02, 2016 12:21 PM LAST SAVED BY: RYANU
 DRAWING LOCATION: H:\M15.0787-Avon Public Facility\ENG\DRAINAGE\DWGS\MDP_STORMWATER_MANAGEMENT_PLAN.dwg

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

A MASTER DEVELOPMENT PLAN

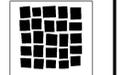
Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO



LEGEND

- PROPOSED SLOPE
 - EXISTING SLOPE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED CONTOUR AVON M.O.B. (ADJACENT SITE)
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
- CONTOURS FROM SITE TOPOGRAPHIC SURVEY. CONDUCTED BY GORE RANGE SURVEYING DATED: 02/12/15
- CONTOURS FROM PREVIOUS TOPOGRAPHIC SURVEY. CONDUCTED BY OTHERS. APPROXIMATE SURVEY DATE: 01/15/09



DAVIS PARTNERSHIP ARCHITECTS

APPLICANT / OWNER
EAGLE RIVER FIRE PROTECTION DISTRICT
351 BENCHMARK ROAD
AVON, COLORADO 81607
PHONE: 970.748.9655

ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
2001 BLAKE STREET, SUITE 100
DENVER, COLORADO 80202
PHONE: 303.841.8555

LANDSCAPE ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
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SUBJECTS
GORE RANGE SURVEYING, LLC
3101 LONGSHAN LANE
P.O. BOX 15
AVON, COLORADO 81603
PHONE: 970.478.8008

ELECTRICAL ENGINEER
MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81620



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

DATE	15914.00
DATE	03.02.16
SHEET NUMBER:	C6

PLOT DATE: Wednesday, March 02, 2016 12:22 PM LAST SAVED BY: RYANJ
DRAWING LOCATION: H:\M15\0787- Avon Public Facility\PLANS\CONSTRUCTION DOCUMENTS\STEEP SLOPE PLAN.dwg

STEEP SLOPE PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

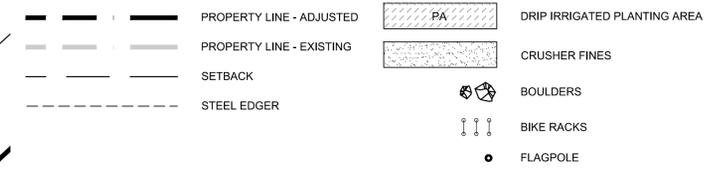
A MASTER DEVELOPMENT PLAN

Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO

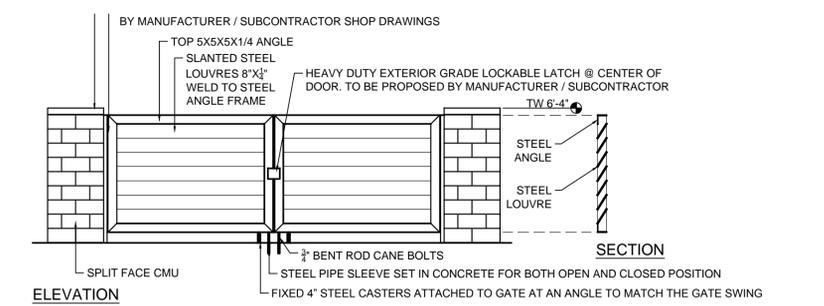


LEGEND



GENERAL LAYOUT AND MATERIALS NOTES

1. THE SURVEY FOR THIS WORK HAS BEEN PROVIDED BY THE OWNER FOR USE IN THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS SURVEY.
2. THE LANDSCAPE DRAWING SERIES SHALL BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS TO PROVIDE COMPLETE INFORMATION REGARDING SITESWORK.
3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. INSPECT EXISTING SITE CONDITIONS AFFECTING WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. PRIOR TO COMMENCING LANDSCAPE WORK ADVISE THE LANDSCAPE ARCHITECT OF ANY INCONSISTENCIES WITH SAID CONDITIONS FOR RESOLUTION.
4. COORDINATE LANDSCAPE WORK WITH OTHER CONSTRUCTION TO ENSURE PROPER SEQUENCING OF WORK, TO MINIMIZE CONFLICTS, AND TO PROTECT IN-PLACE WORK FROM DAMAGE. MINIMIZE DISTURBANCE OUTSIDE SCOPE OF WORK. DAMAGED WORK SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
6. EXISTING AND NEW UTILITIES SHOWN FOR REFERENCE ONLY. REFER TO CIVIL FOR UTILITY PLANS.
7. THE CONTRACTOR MUST COORDINATE UTILITY CAPPING OR ABANDONMENT WITH THE UTILITY COMPANY AND OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE EROSION CONTROL STANDARDS.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING IRRIGATION WATER SOURCE, ZONES, CONTROLS, COVERAGE, ETC. TO ENSURE THAT CONSTRUCTION DOES NOT IMPACT IRRIGATED LANDSCAPE AREAS THAT ARE TO REMAIN. ALL IRRIGATION AND LANDSCAPE DISTURBED BY THE WORK OF THIS PROJECT ARE TO BE RESTORED TO A LIKE NEW CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT.
10. EXCAVATION AND OTHER GROUND DISTURBANCE IS NOT ALLOWED WITHIN THE DRIP-LINE OF TREES TO REMAIN UNLESS SPECIFICALLY NOTED. CONTRACTOR SHALL PROTECT TREES TO REMAIN WITH FENCE.
11. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION, INSTALLATION, OR PERFORMANCE OF THE WORK, SHALL BE PROVIDED BY THE CONTRACTOR.
12. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED EACH DAY AND THE SITE SHALL BE MAINTAINED IN A NEAT, CLEAN CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR ALL PHASES OF SECURING, HANDLING, TRANSPORTATION, AND DISPOSAL OF DEBRIS.
13. CONTRACTOR SHALL PROVIDE PROTECTION FOR NEWLY INSTALLED WORK AND FINISHES.
14. THE LIMITS OF WORK DESCRIBED IN THE DRAWINGS ARE APPROXIMATE. WORK REQUIRED OUTSIDE THESE LIMITS WHICH IS NEEDED TO MEET THE INTENT OF THE DRAWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
15. EXPANSION JOINTS TO BE USED WHERE NEW CONCRETE PAVING MEETS EXISTING PAVING, BUILDING WALL, SITE WALLS, COLORED CONCRETE, AND WHERE NOTED ON PLAN.
16. ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND CONTINUOUS, AND MAINTAIN POSITIVE DRAINAGE, RE: CIVIL.
17. DIMENSIONS ARE FROM BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.
18. ALL CONTROL JOINTS ARE TO BE SAW CUT.
19. SCORE JOINTS IN SIDEWALKS SHALL BE LOCATED AT CRITICAL POINTS AND SPACED EVENLY BETWEEN THOSE CRITICAL POINTS AS SHOWN ON THE PLAN AND DETAILS.
20. ALL RAMPS SHALL BE STIFF BROOM FINISHED PERPENDICULAR TO PEDESTRIAN FLOW.
21. 1:12 MAXIMUM SLOPE ON ALL HANDICAP RAMPS.
22. ALL CONCRETE IS STANDARD GRAY WITH A MEDIUM BROOM FINISH, UNLESS OTHERWISE NOTED.
23. POINTS OF TANGENCY FOR ALL RADII TO BE SMOOTH AND CONTINUOUS, FIELD ADJUST IF NECESSARY.
24. REFER TO CIVIL AND GEOTECHNICAL REPORT FOR ASPHALT AND CONCRETE PAVING THICKNESSES.
25. ALL SIDEWALK RADII ARE 5.00' UNLESS OTHERWISE NOTED ON THE PLAN.
26. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECIFICATIONS AND DETAILS. HORIZONTAL CONTROL FOR EACH FIXTURE IS LOCATED ON SHEETS L-201, L-202, AND L-203. REFER TO CIVIL DRAWINGS FOR VERTICAL CONTROL OF EACH FIXTURE.
27. ALL SITE FURNISHINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR PER THE DRAWINGS AND SPECIFICATIONS.



2 CMU TRASH ENCLOSURE - ELEVATION
SCALE: 1/4" = 1'

1 SITE PLAN
SCALE: 1" = 20'-0"



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SUBCONTRACTOR
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ELECTRICAL ENGINEER
RE THUNDERBOLT
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SOLAIR, COLORADO 80401
PHONE: 303.421.8665

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81620

DATE	15914.00
PROJECT NO.	15914.00
DATE	03.02.16
SHEET NUMBER	L1

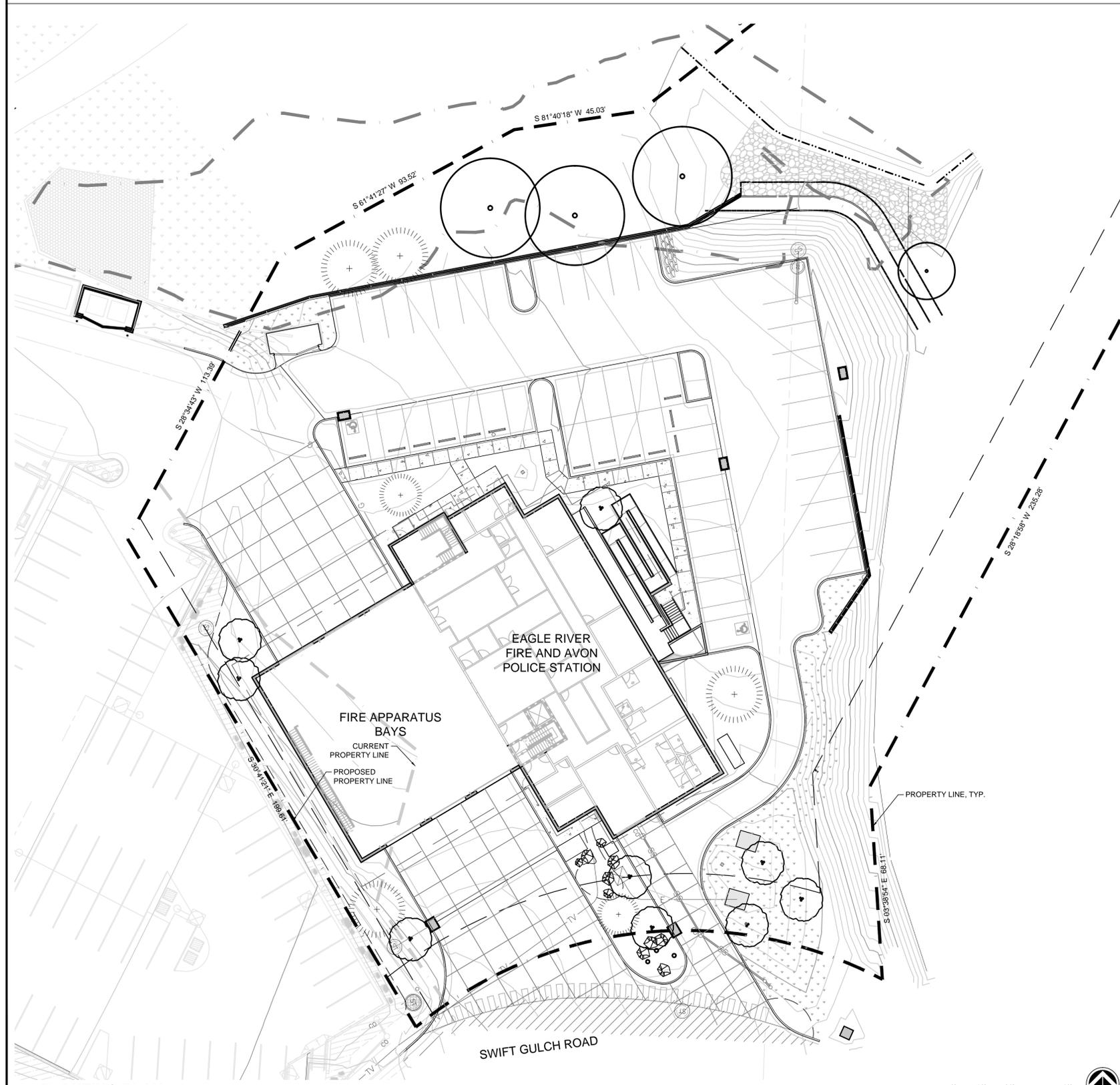
SITE PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

A MASTER DEVELOPMENT PLAN

Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO



LEGEND

- PROPERTY LINE - ADJUSTED
- PROPERTY LINE - EXISTING
- SETBACK
- NATIVE SEED MIX
- PERENNIALS / GROUNDCOVER
- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES

LANDSCAPE STATISTICS

TOTAL SITE AREA:	98,061 SF
LANDSCAPED AREA REQUIRED:	0% OF TOTAL SITE SF
LANDSCAPE AREA PROVIDED:	xxxxxxxSF / 2xxxxx%+ OF TOTAL SITE SF
TOTAL LANDSCAPE UNITS REQUIRED:	xxxxx UNITS REQUIRED (xxx TREES/xxxx SHRUBS)
TOTAL LANDSCAPE UNITS PROVIDED:	xx UNITS BY PRESERVING EXISTING TREES xxxxx UNITS BY NEW TREES xxxxx UNITS BY SHRUBS xxxxx LUs PROVIDED
TOTAL IRRIGATED AREA:	4,628.25 SF (20% OF 23,141.25 SF)
*SPRAY AREA:	0 SF
DRIP AREA:	X SF

* NO SOD AREAS ON THE SITE. NATIVE SEED ONLY (OPTIONAL: TEMPORARY IRRIGATED UNTIL ESTABLISHED)

GENERAL LANDSCAPE AND PLANTING NOTES

1. THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITIES NOTIFICATION CENTER OF COLORADO (UNCC) AND ANY LOCAL UTILITIES NOT IN THE UNCC SYSTEM AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR CONSTRUCTION TO REQUEST EXACT FIELD LOCATIONS OF ALL UTILITIES.
3. MINIMIZE DISTURBANCE OUTSIDE SCOPE OF WORK. ANY DAMAGE OUTSIDE SCOPE OF WORK INCURRED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO LIKE NEW CONDITION.
4. CONTRACTOR SHALL MAINTAIN IRRIGATION TO EXISTING PLANT MATERIAL ON ADJACENT SITES AND ROWS.
5. IRRIGATION DESIGN INFORMATION PROVIDED AS DESIGN BUILD BY CONTRACTOR.
6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL PLANTING PLANS. PLANT QUANTITIES AND AREA TAKE-OFFS PROVIDED ON THE PLANTING LISTS ARE FOR CONVENIENCE ONLY. SHOULD DISCREPANCIES EXISTING BETWEEN THE QUANTITIES OR S.F. AREAS PROVIDED ON THE PLANTING LISTS AND THOSE DRAWN ON THE PLAN, THE PLAN SHALL GOVERN.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE COLORADO NURSERY ACT, OR EQUIVALENT.
8. NO PLANT SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT, OR EQUAL.
9. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILED.
10. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED COMPLETELY AT TIME OF PLANTING.
11. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
12. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES SHALL BE STAKED AND SHRUBS LOCATED, STILL IN CONTAINERS, PER PLAN LAYOUT FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. NOTIFY LANDSCAPE ARCHITECT ONE WEEK PRIOR TO DATE OF SITE VISIT.
13. CONTRACTOR TO HAVE EXISTING AND NEW UTILITY LOCATIONS STAKED, FOR REFERENCE, DURING APPROVAL OF FINAL TREE PLANTING LAYOUT.
14. DO NOT PLANT TREES WITHIN 10 FEET OF CENTERLINE OF UTILITIES OR WITHIN WATER EASEMENTS.
15. REFER TO DETAILS AND THE CONTRACT SPECIFICATIONS FOR REQUIRED PLANTING METHODS, SOIL PREPARATION, AND OTHER INFORMATION REGARDING PLANTING.
16. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING NECESSARY FOR INITIAL ESTABLISHMENT OF LANDSCAPE. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON. CONTRACTOR SHALL ALSO BE REQUIRED TO MAINTAIN LANDSCAPE THROUGH SUBSTANTIAL COMPLETION AND FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION. MAINTENANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) WATERING, MOWING, PRUNING, AND WEEDING.
18. THE LANDSCAPE CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
19. PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE.
20. ALL LANDSCAPE AREAS, STREET TREES AND PLANT MATERIAL WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.
21. ALL PLANTING AREAS TO BE COVERED 4" DEEP WITH STONE MULCH, OR ORGANIC BARK MULCH. FINAL MULCH TYPE(S) WILL BE DETERMINED IN A FUTURE DESIGN PACKAGE. PLACE OVER WEED CONTROL FABRIC, UNLESS OTHERWISE NOTED.
22. AREAS TO RECEIVE LANDSCAPE SHALL BE TILLED TO A DEPTH OF 12-INCHES. THEN APPLY SPECIFIED SOIL AMENDMENT OVER SURFACE AT A RATE OF FOUR CUBIC YARDS PER THOUSAND SQUARE FEET. TILL AREAS AGAIN TO A MINIMUM DEPTH OF 8- INCHES.
23. FINISH GRADES IN PLANTING AREAS SHALL BE SET TO INCLUDE THE APPLICATION OF TOPSOIL IN MEETING SPOT ELEVATIONS ON CONTOURS SHOWN ON PLANS. SLOPES SHALL BE SMOOTH AND WORKED. SOIL SHALL NOT BE LEFT IN CLUMP FORM. HOLD FINISHED GRADE OR MULCH A MINIMUM OF 3" BELOW EDGE OF WALK, EDGING OR CURB.
24. PROVIDE MIN. 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER ALL WALKS AND DRIVES FOR IRRIGATION PIPING. PRIOR TO INSTALLATION OF WALKS AND DRIVES. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVES WITH LANDSCAPE CONTRACTOR. RE: IRRIGATION PLANS FOR LOCATIONS WHERE SLEEVES ARE REQUIRED.
25. STEEL EDGER WITH A ROLLED EDGE SHALL SEPARATE ALL SODDED AREAS, BED AREAS, MINERAL MULCH AREAS, DECOMPOSED GRANITE, AND NATIVE SEED AREAS, UNLESS DEFINED BY AN EDGE OF PAVEMENT OR STRUCTURE.
26. ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.
27. RELOCATED TREES SHALL HAVE THE SAME ASPECT IN FINAL LOCATION (I.E. EXISTING NORTH ASPECT SHALL FACE NORTH IN FINAL LOCATION).

1 PLANTING PLAN
SCALE: 1" = 20' - 0"



DAVIS PARTNERSHIP ARCHITECTS
 ARCHITECT
 DAVIS PARTNERSHIP ARCHITECTS
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MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
60 Buck Creek Road
Avon, CO 81620

PROJECT NO.	15914.00
DATE	03.02.16
SHEET NUMBER	L2

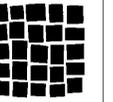
LANDSCAPE PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY DEVELOPMENT PLAN

LOCATED IN THE 1/2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO
LOT 1A Buck Creek P.U.D.



1 LEVEL 1 MDP
3/32" = 1'-0"



**DAVIS
PARTNERSHIP
ARCHITECTS**

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RUE HIGH DEVELOPMENT
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ARCHITECT:
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MASTER
DEVELOPMENT
PLAN

EAGLE RIVER FIRE /
AVON PUBLIC SAFETY
FACILITY
60 BUCK CREEK ROAD
AVON, COLORADO 81620

REV	REMARKS	DATE	BY	CHKD	APPROV

PROJECT NO:
15914.00

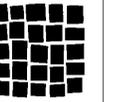
DATE:
03.02.2016

SHEET NUMBER:

LEVEL 1 FLOOR PLAN **A3**

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY DEVELOPMENT PLAN

LOCATED IN THE 1/2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO
LOT 1A Buck Creek P.U.D.



**DAVIS
PARTNERSHIP
ARCHITECTS**

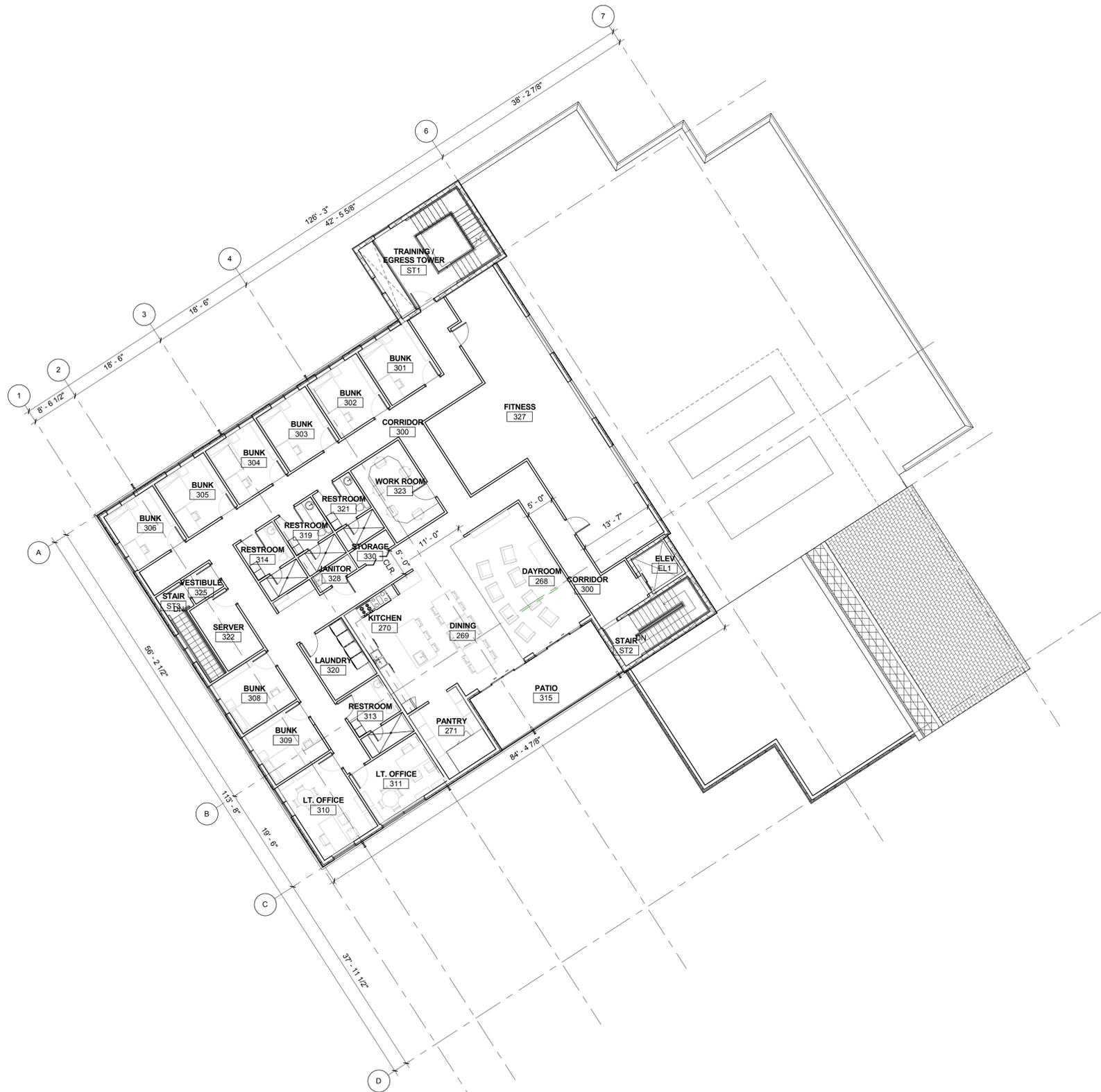
APPLICANT:
GEORGE THORPE
RUE HIGH DEVELOPMENT
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DENVER, CO 80202
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DENVER, CO 80202
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1 LEVEL 3 MDP
3/32" = 1'-0"

**MASTER
DEVELOPMENT
PLAN**

**EAGLE RIVER FIRE /
AVON PUBLIC SAFETY
FACILITY**
60 BUCK CREEK ROAD
AVON, COLORADO 81620

REV	REMARKS	DATE	BY	CHKD	APPROV

PROJECT NO:
15914.00
DATE:
03.02.2016
SHEET NUMBER:

LEVEL 3 FLOOR PLAN

A5

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY DEVELOPMENT PLAN

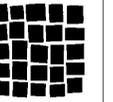
LOCATED IN THE 1/2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO
LOT 1A Buck Creek P.U.D.



1 ROOF PLAN MDP
3/32" = 1'-0"

ROOF PLAN

A6



**DAVIS
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ELECTRICAL ENGINEER:
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GOLDEN, CO 80401
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MASTER
DEVELOPMENT
PLAN

EAGLE RIVER FIRE /
AVON PUBLIC SAFETY
FACILITY
60 BUCK CREEK ROAD
AVON, COLORADO 81620

REV	REMARKS	DATE	BY	CHKD	APPROV

PROJECT NO:
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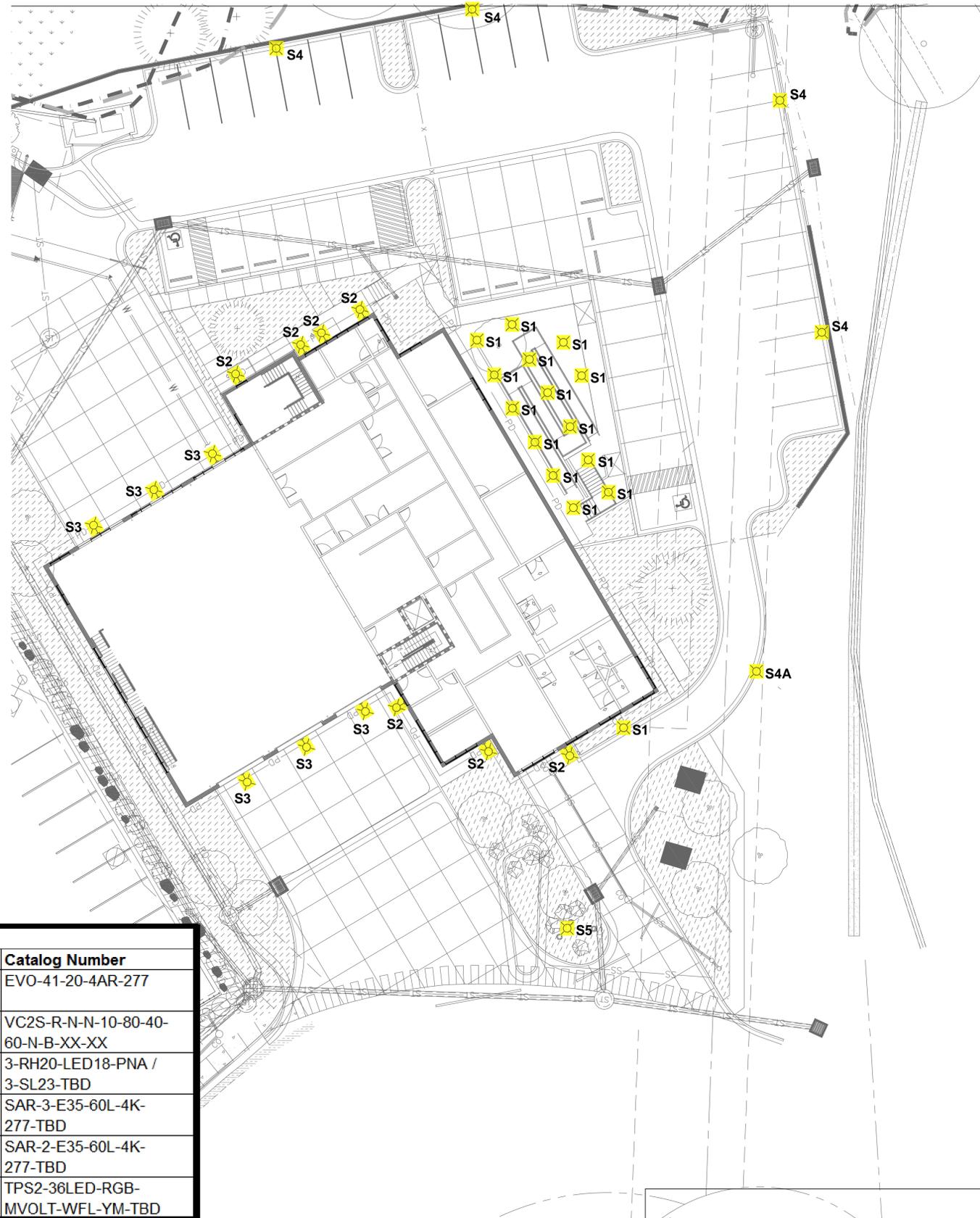
SHEET NUMBER:

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY

A MASTER DEVELOPMENT PLAN

Lot 1A Buck Creek P.U.D.

LOCATED IN THE 1 / 2 OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 82 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF AVON, EAGLE COUNTY, STATE OF COLORADO



DAVIS PARTNERSHIP ARCHITECTS

APPLICANT / OWNER'S REPRESENTATIVE
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ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
280 FLAKE STREET
SUITE 100
DENVER, COLORADO 80205
PHONE: 303.881.4855

LANDSCAPE ARCHITECT
DAVIS PARTNERSHIP ARCHITECTS
280 FLAKE STREET
SUITE 100
DENVER, COLORADO 80205
PHONE: 303.881.4855

CIVIL ENGINEER
MARTIN / MARTIN
1313 FRANCIS ROAD
SUITE 200
AVON, CO 81602
PHONE: 970.926.6007

MASTER DEVELOPMENT PLAN

EAGLE RIVER FIRE / AVON PUBLIC SAFETY FACILITY
1 Buck Creek Road
Avon, CO 81620

DATE	03.02.16
PROJECT NO.	15914.00
DATE	03.02.16
SHEET NUMBER	

SITE FAÇADE						
Type	Lamp	Finish	Voltage	Mounting	Manufacturer	Catalog Number
S1	31W LED, 2000 LUMENS, 4100K	TBD BY ARCH	277V	RECESSED	GOTHAM	EVO-41-20-4AR-277
S2	13W LED, 1000LUMENS, 4000K	TBD BY ARCH	277V	SURFACE	V2 LIGHTING	VC2S-R-N-N-10-80-40-60-N-B-XX-XX
S3	18W COB LED, 90 CRI, 1260 LUMENS	TBD BY ARCH	120V	WALL	TROY LIGHTING	3-RH20-LED18-PNA / 3-SL23-TBD
S4	60LED, 4200K, 80 CRI, 100,000 HRS	TBD BY ARCH	277V	14' POLE	KIM LIGHTING	SAR-3-E35-60L-4K-277-TBD
S4A	60LED, 4200K, 80 CRI, 100,000 HRS	TBD BY ARCH	277V	14' POLE	KIM LIGHTING	SAR-2-E35-60L-4K-277-TBD
S5	64W LED	TBD BY ARCH	MVOLT	SURFACE	HYDREL	TPS2-36LED-RGB-MVOLT-WFL-YM-TBD

